

RESORT AT SQUAW CREEK

TOWNHOMES • DESIGN REVIEW PACKAGE •

Amended 31 March 2017



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Resort at Squaw Creek Townhomes

February 15, 2017



In 2006, the Townhomes site was entitled to create 24 three-bedroom townhomes fronting the existing Squaw Creek golf course and meadow. Since then, experts in the resort real estate market have identified significant shifts in the desired product as well as the demographics of prospective buyers. To move the project forward and redress the changing market, the townhome site has been reconsidered with these key aspirations:

- Creating larger family units with double-master suites.
- Orienting the main living spaces more towards the best views.
- Providing more separation between the units and the service road.
- Appealing to a more contemporary aesthetic and younger appeal.

The solution to these challenges has been found by adjusting the existing parcel boundaries to the three entitled lots, as well as a re-design of the townhomes themselves. The townhome redesign has been completed to respect the established limits of height and floor area from the previously entitled plans.

The result is a development of 18 townhomes using a common floor plan design, but still retaining a sense of individual 'homes.' This scheme will make best use of the limited site while allowing the interiors spaces to feel large and gracious. This development will compliment the other facilities at the RSC, becoming a unique opportunity for ownership of prime Squaw Valley real estate.

Plan Comparison

	Beds Per Unit	Baths Per Unit	Unit Net Saleable Area (varied)	Private Deck Space	Garage Area Per Unit	Resident Garage Spaces	2nd Res. Space (tandem)	Onsite Parking	Total Demising Area Per Unit (varied)
Original Entitlement	3	3.5	2159 / 2335	133 / 189	263	1	1	0	2817 / 3123
Total: 24 units	72	84				24	24 tdm		69,139 sf
Current Proposal									
Unit Number / Type									
Lot 1								4	
Unit 1 / B	4	4.5	3050	460	265	1	1		
Unit 2 / A	4	4.5	3050	460	265	1	1		
Unit 3 / B	4	4.5	3050	460	265	1	1		
Unit 4 / A	4	4.5	3050	460	265	1	1		
Lot 2								5	
Unit 5 / B	4	4.5	3050	460	265	1	1		
Unit 6 / A	4	4.5	3050	460	265	1	1		
Unit 7 / B	4	4.5	3050	460	265	1	1		
Unit 8 / A	4	4.5	3050	460	265	1	1		
Unit 9 / B	4	4.5	3050	460	265	1	1		
Lot 3								5	
Unit 10 / B	4	4.5	3050	460	265	1	1		
Unit 11 / A	4	4.5	3050	460	265	1	1		
Unit 12 / B	4	4.5	3050	460	265	1	1		
Unit 13 / A	4	4.5	3050	460	265	1	1		
Unit 14 / B	4	4.5	3050	460	265	1	1		
Lot 4								4	
Unit 15 / A	4	4.5	3050	460	265	1	1		
Unit 16 / B	4	4.5	3050	460	265	1	1		
Unit 17 / A	4	4.5	3050	460	265	1	1		Total Demising Area
Unit 18 / B	4	4.5	3050	460	265	1	1		
Total: 18 units	72	81	54,900	8,280	4,770	18	18 tdm	18	67,950 sf

Project Information

This project consists of the townhome condominium portions (Phase 2A) of the future development at the Resort at Squaw Creek. The complete Phase 2 development, including a midrise condominium building and parking structure was previously submitted for entitlements in 2006; the project originally received Sub 260, Conditional Use Permit 1444 in 1996.

This submittal is for design review of modifications to the 2006 CUP design, within minor boundary line adjustments, for the condominium portion only. The number of units and the area of the original entitlement and the current proposal is summarized in the chart to the left labeled "Plan Comparison".

Site Planning
The location of the modified condominiums is shown on the Architectural and Civil Site Plans. The project density and locations relative to the boundary lines are based upon the 2006 townhomes plan. The buildings have been shifted within the existing site as indicated by the modified boundary lines. The revised parcels and the County assigned APN numbers are shown on the Architectural Site Plan.

Height
The relative height of the original CUP submittal and the current proposal is shown on the Height & Mass Comparison.

The maximum building height is based upon the Squaw Valley General Plan limit of 35 feet. The mass of the buildings is stepped and the maximum height is less than or equal to the standard, as shown on the sheet Typical Cross Section. The chimneys are within the 15% additional height allowed for appurtenances.

Parking & Circulation
Townhomes
The parking space allowances are based upon the Squaw Valley General Plan requirement of 3/4 spaces per bedroom. The distribution of the spaces is shown on the Architectural Site Plan.

Resort Parking
The Existing and Proposed Site Plan Exhibit indicates the existing parking areas that are impacted by Phase 2A and revisions to these areas to preserve the capacity.

The typical parking stall sizes are noted on sheet C2. The stall size including any overhang will conform to the design standard. Proposed snow storage areas are indicated on the Architectural Site Plan.

Site Walls
The site walls are indicated on the Civil and Landscape Site Plan drawings.

Exterior Lighting
The exterior lighting will be developed and will be submitted as a condition of final approval. Exterior lighting will be low level, shielded fixtures conforming to the design guidelines including light trespass and dark sky requirements.

Signage
An complete signage package will developed for the project and will be submitted as a condition of final approval.

Trees
Existing trees are indicated on C2 -Demolition Plan. Areas of disturbance will be revegetated per the 2006 CUP as shown on the Landscape Site Plan.

Circulation and Emergency Access
The site plan has been has been reviewed with the Squaw Valley Fire Department for general conformance with emergency vehicle access needs. The design team will continue to coordinate with the department as the design progresses.

Photo Montage
Pages 14-17 are comparisons of the current townhome design and the 2006 CUP submittal. The montage images indicate the massing, exterior materials and approximate scale of the design proposals.

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
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SHRUBS

PERENNIALS AND GROUNDCOVERS

MICELLANEOUS

1. Refer to landscape character sheets for design intent of walls, signage and planting composition

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SYMBOL	TYPE	QTY.
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*SEE ARCHITECTURAL SHEETS FOR TYPES

1. Landscape maintenance and management shall be consistent with existing operations of Quarry Creek Resort.

- operations of Squaw Creek Resort.

- for an establishment period of 3 years, after which the irrigation can be removed at the owner's discretion. Apply $\frac{1}{2}$ " of water per day only on weekdays during the growing season during the morning hours of the day, no later than 10am.

3. Use phosphorus free slow release fertilizer only for all perennial and shrub areas. Use phosphorus free fertilizer such as SummerSet 10-0-3 or approved equal at a rate 1/2 to 3/4 pounds per 1000 sf during each application.

- specifically formulated to maintain good tree health. Fertilizer shall not be spread over existing vegetation or outside the limit of disturbance.

- depending on weather when plants have come out of dormancy, and once late. In late September or early October depending on weather, but before the first frost. Avoid using weedkiller / fertilizer combinations that can damage trees and shrubs.

- plants to the Olympic Valley area. Therefore these plants will require very little fertilizer long term to sustain their health. The plants will require regular fertilizer applications during their establishment period (3 years).

1. All areas disturbed by construction activities shall be revegetated if not shown improved within the treatment. If the area contains any special plants or animals, the revegetation shall be done in a way that does not harm them.

- with another material. Additional revegetation may be required beyond what is shown on plans.

2. A minimum of two inches (2") of topsoil shall be placed on all disturbed areas. Topsoil shall include all of the organic-rich layer of soil immediately under the duff layer. Topsoil shall be stored with minimal handling and no compaction, and it should not be mixed with spoil material.

- use shall be plowed with a ripper or other deep tillage implement where feasible to a depth of 6"-12". Soil may be loosened with a backhoe bucket equipped with cutting teeth if loosening is done such that clods remain and soil is not pulverized or inverted. Following soil loosening, all further equipment traffic shall be eliminated from the planting area.

4. Areas should be irrigated by a low-flow irrigation system approximately once every three (3) weeks. The goal for all revegetated areas is to minimize irrigation needs and discontinue the need for irrigation after a maximum of three (3) growing seasons.

5. Following seeding and planting, all revegetation areas shall be mulched with pine needles. Pine needles shall be applied evenly to the entire area to a depth of one inch (1") if applied by blower or two inches (2") if applied by hand.

1. Refer to **Civil** plans for site layout, drainage, final grading and utilities. Information shown on **Civil** plans shall take precedence over landscape plans.

2. Exact locations of plant materials to be approved by the Owner's Representative in the field prior to installation. Owner's Representative reserves the right to adjust plants to exact location in field.

3. Verify plant counts and square footages: Quantities are provided as Owner's information only. If quantities on plant list differ from graphic indications, then graphics shall prevail.

4. Contact the local underground utility services for utility location and identification.

5. Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.

6. Trees shall bear same relation to finished grade as it bore to existing.

7. Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Owner's Representative.

8. All vegetation, landscaping and planting shall be consistent with the requirements Placer County Landscape Design Guideline, adopted and approved by Placer County Board of Supervisors May 7, 2013.

9. Dust control measures shall be in place during construction. Broadcast mulch shall not be permitted as a dust control measure within 35 feet of structures.

10. Fencing, bollards and boulders as seen on the plan shall be in place to restrict parking to approved parking surfaces only.

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ISSUE DATE: MARCH 30, 2017

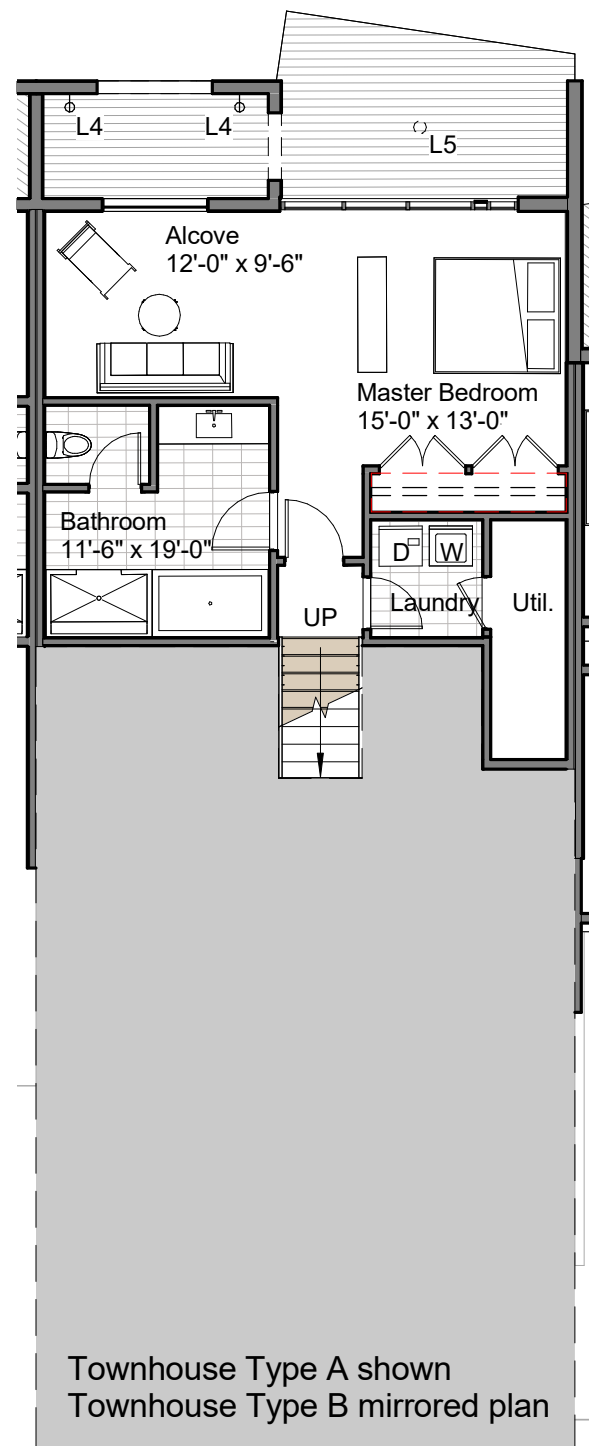
REVISIONS

DRAWN: _____ REVIEWED: _____

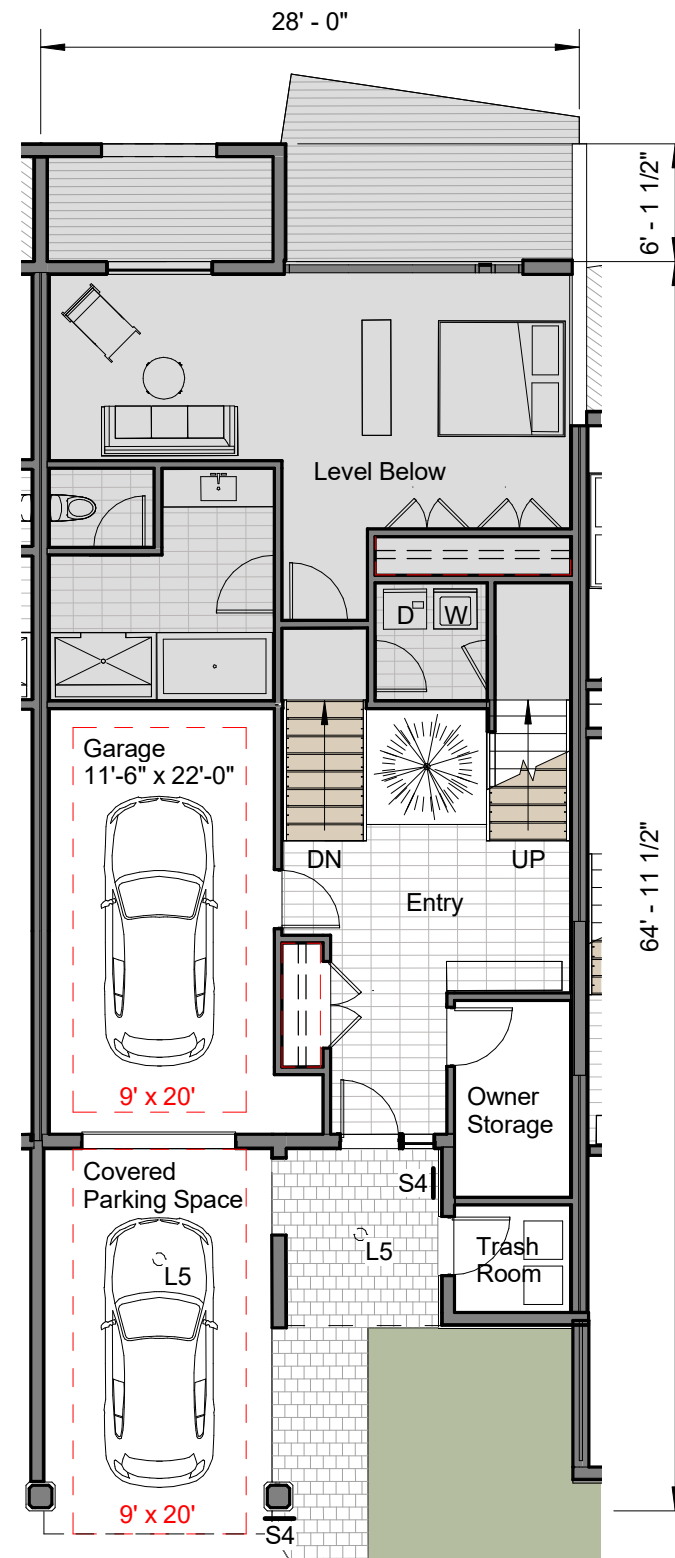
PROJECT NUMBER: 5407

SHEET NUMBER

1.1.1



1 Lower Lakeside Level



2 Lower Entry Level

LIGHTING & SIGNAGE LEGEND

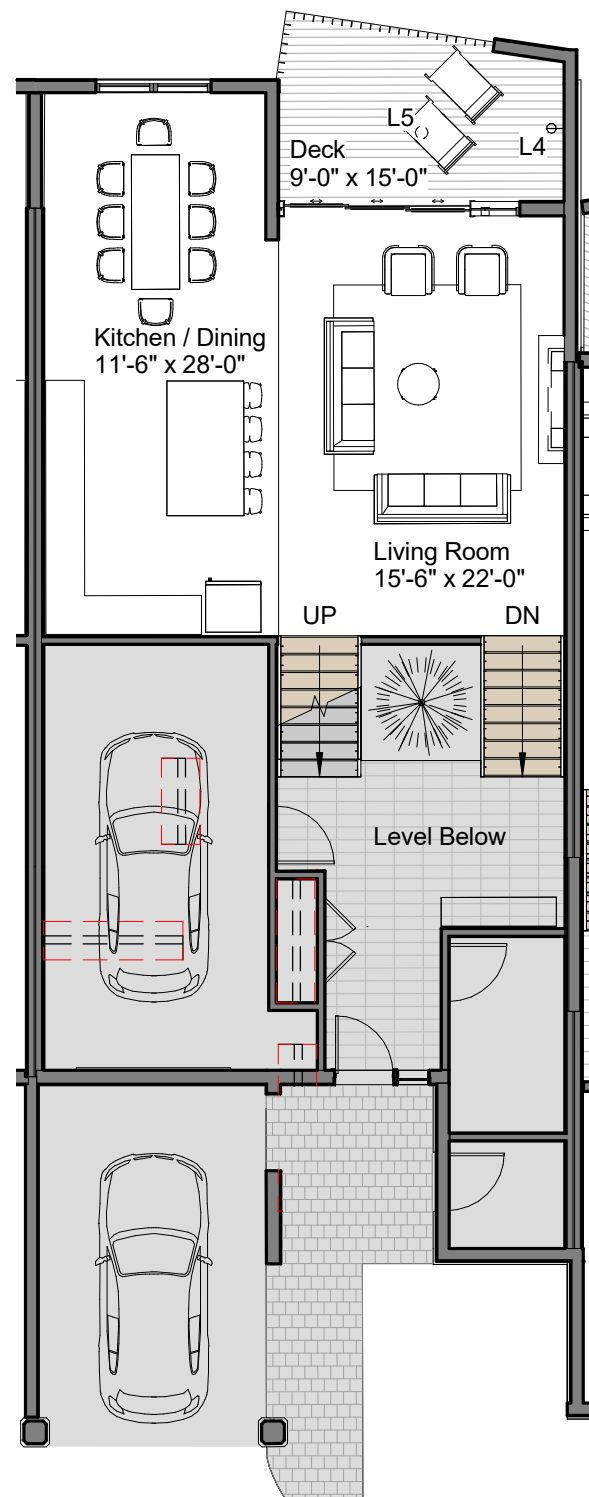
L4 - EXTERIOR WALL SCONCE

L5 - EXTERIOR DOWNLIGHT

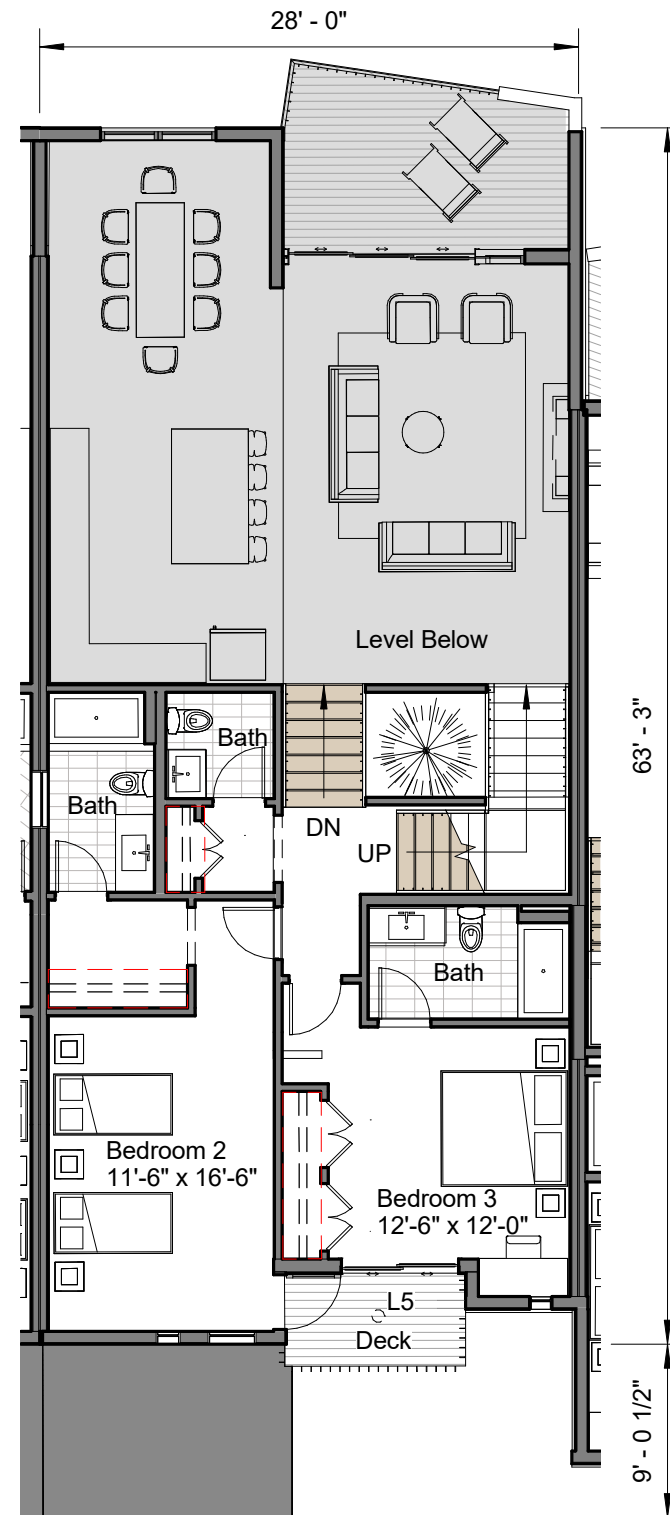
S4 - UNIT SIGNAGE

REFER TO LIGHTING TYPES & SIGNAGE TYPES EXHIBITS

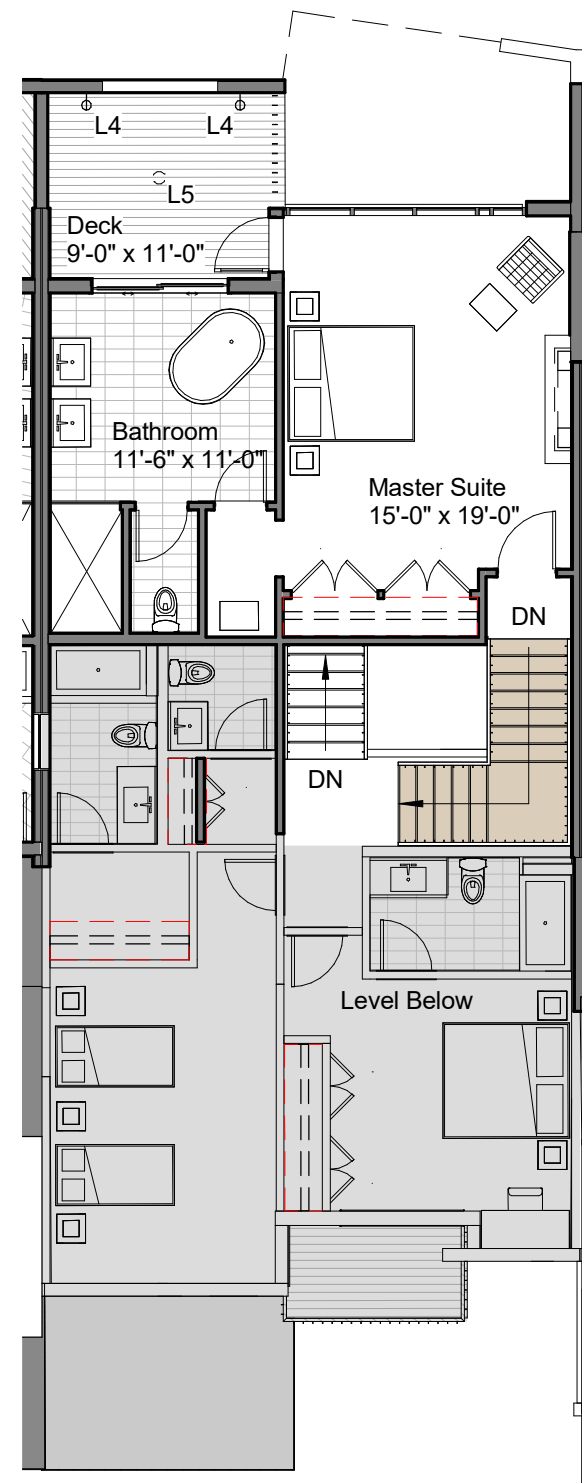




3 Middle Lakeside Level



4 Upper Entry Level



5 Upper Lakeside Level

LIGHTING & SIGNAGE LEGEND

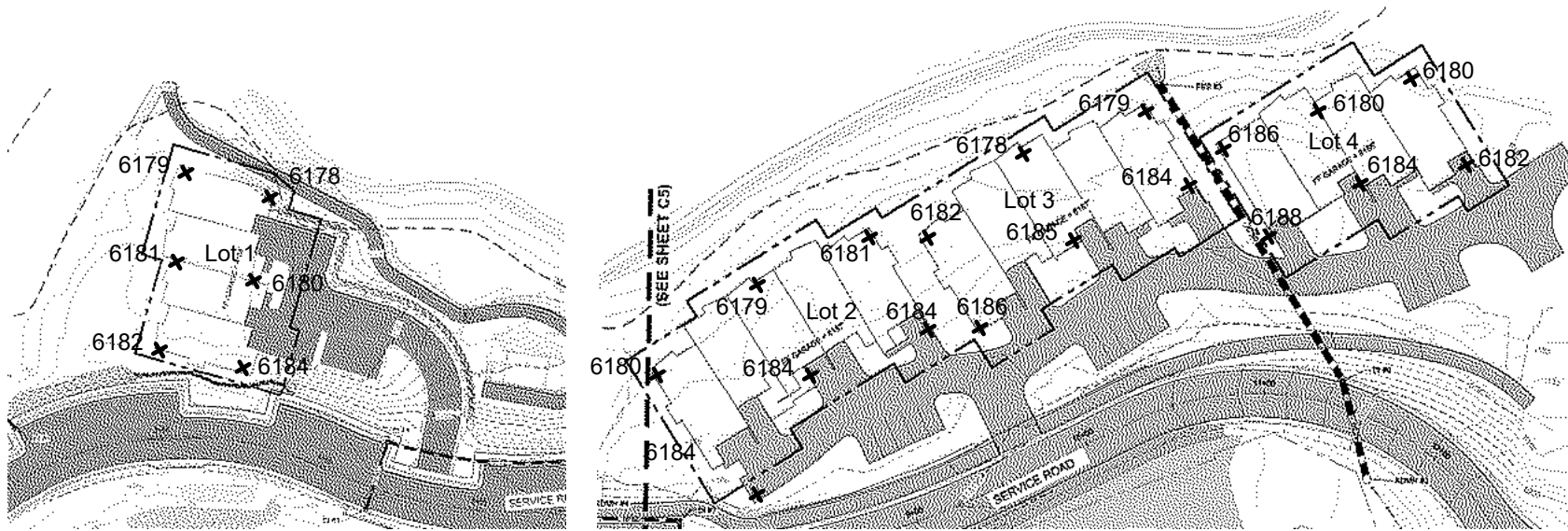
L4 - EXTERIOR WALL SCONCE

L5 - EXTERIOR DOWNLIGHT

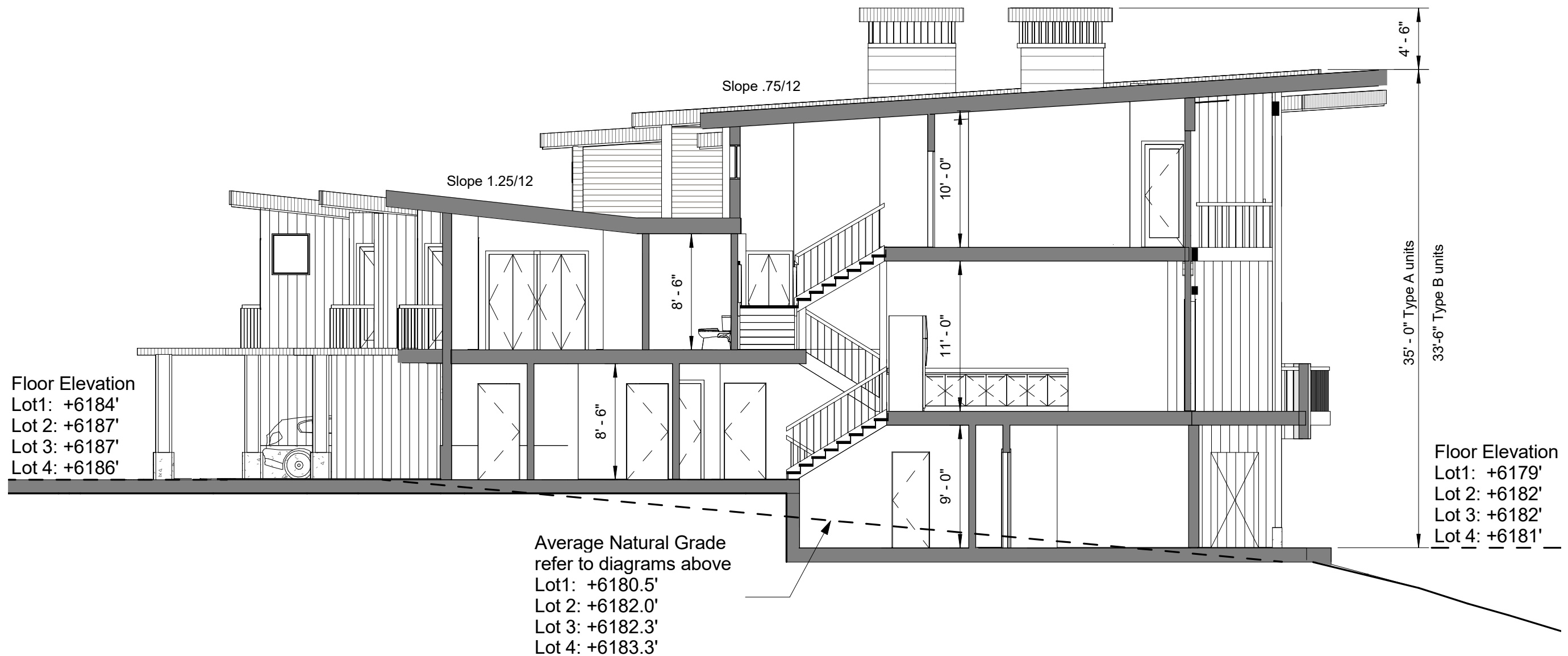
S4 - UNIT SIGNAGE

REFER TO LIGHTING TYPES & SIGNAGE TYPES EXHIBITS





Perimeter Natural Grade Elevations



Typical Cross Section / Maximum Height Diagram





Townhouse Type B Townhouse Type A Townhouse Type B Townhouse Type A Townhouse Type B

Typical Entry Elevation



Typical Side Elevation B





Townhouse Type B

Townhouse Type A

Townhouse Type B

Townhouse Type A

Townhouse Type B

Typical Lakeside Elevation



Corner Unit Side Elevation B





Entry View

Resort at Squaw Creek Townhomes

January 18, 2016



Lakeside View

Resort at Squaw Creek Townhomes

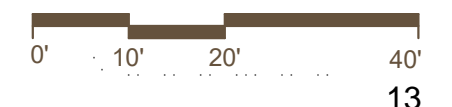
January 18, 2016



Original Entitlement Townhomes



Current Proposal Townhomes







2006 CUP Townhomes

2006 CUP Midrise condominiums
& parking structure
not included in the current project



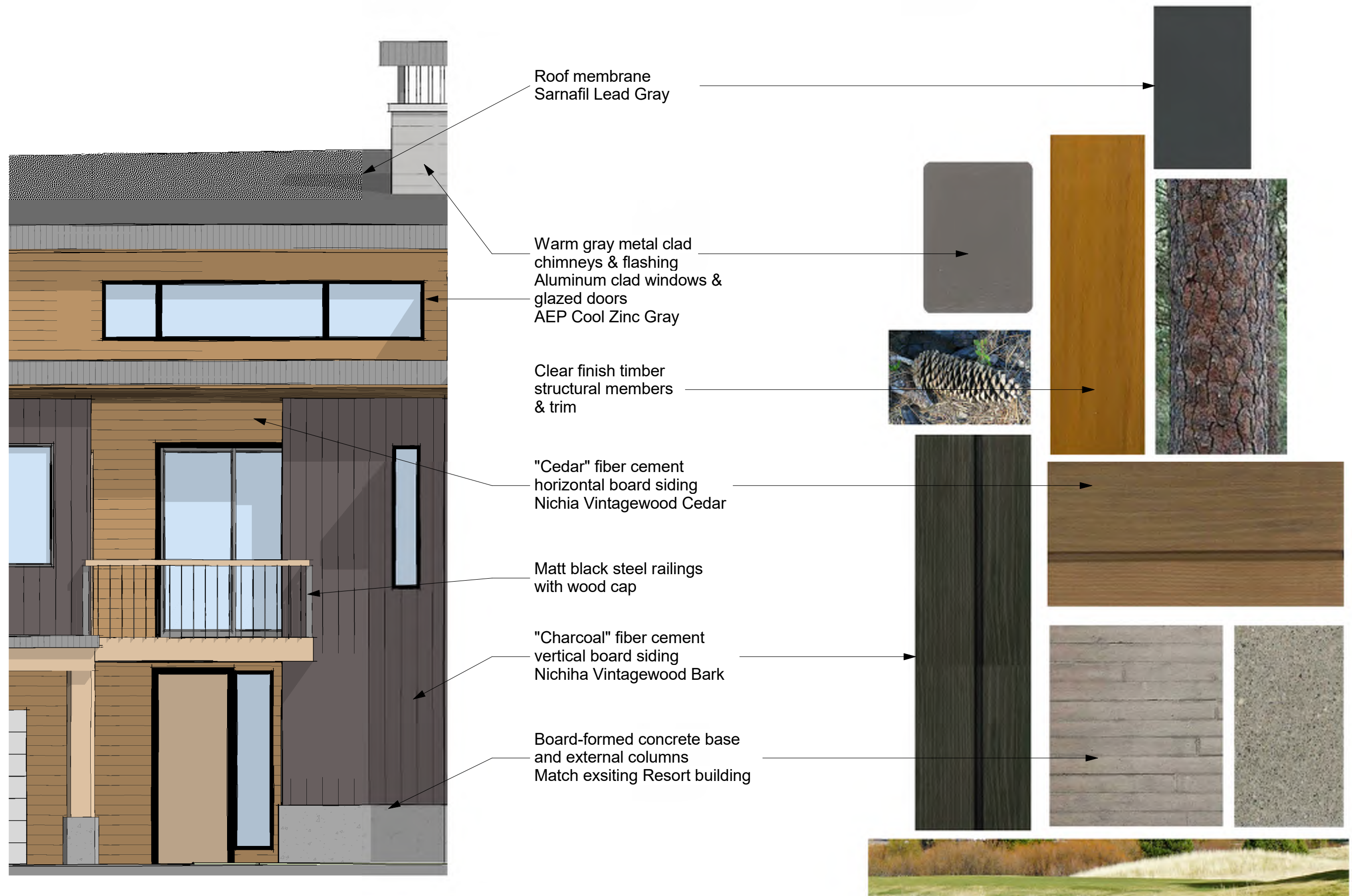




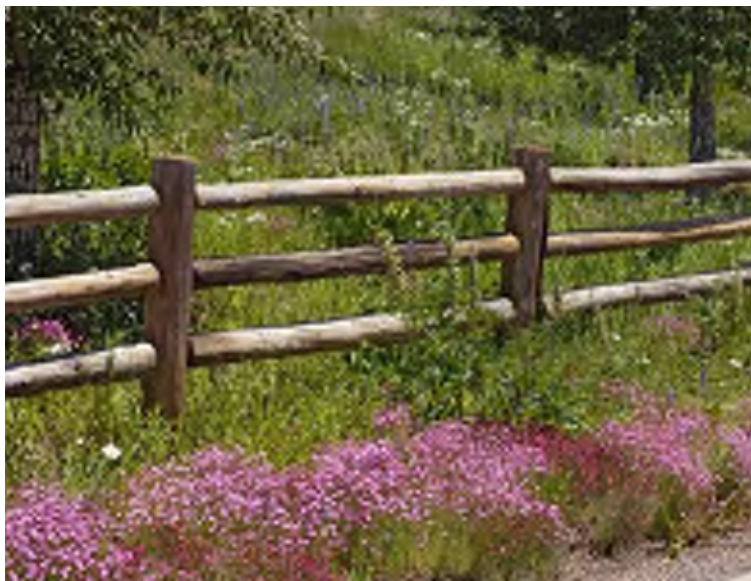
2006 CUP Townhomes

2006 CUP Midrise condominiums
not included in the current project





INSPIRATIONAL PHOTOS FROM BUILT LANDSCAPES



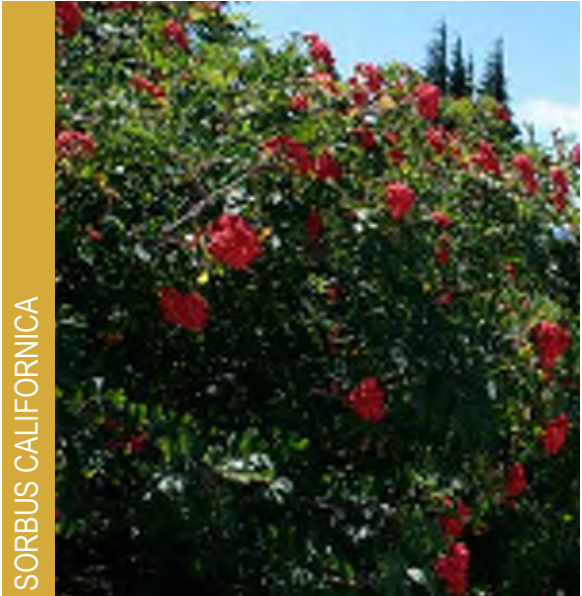
PLANT PALETTE

EVERGREEN TREE

DECIDUOUS TREE

SHRUB

PERENNIAL



PLANT PALETTE

EVERGREEN TREE

DECIDUOUS TREE

SHRUB

PERENNIAL



PLANTING & MATERIALS LEGE ND

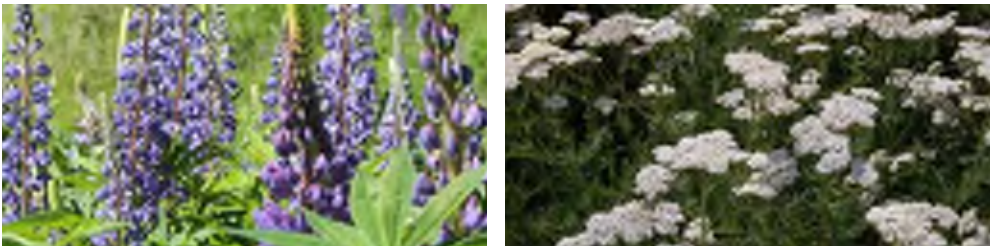
MEADOW MIX: Grasses and wildflowers that match the indigenous meadows of the area.



PERENNIAL MASSING TYPE 1 (Penstemon Chrysanthemum): Showy flowers throughout the season, located in highlight areas around signs and creek features



PERENNIAL MASSING TYPE 2 (Lupine, Achillea): Located under Aspens in massing in front of buildings



WOODY PERENNIAL MASSING (Ribes, Spirea, Potentilla): Shrubby plants located in highlight areas to give depth and richness to the planting palette



ASPEN TREES: Used in front of town homes, out of snow shed areas, to create a grove in the summer and allow views in the winter



PINE TREES: Used in front of town homes to provide privacy and screening from the road



DECORATIVE BOULDERS: Used for retaining planting areas with clumps of perennials around the boulders



ENTRANCE SIGNAGE: Create a gateway to the town homes through the use of signage enhanced by decorative boulders and perennial massing.



GATED ENTRIES: Create an additional sense of buffer between town homes and service road.



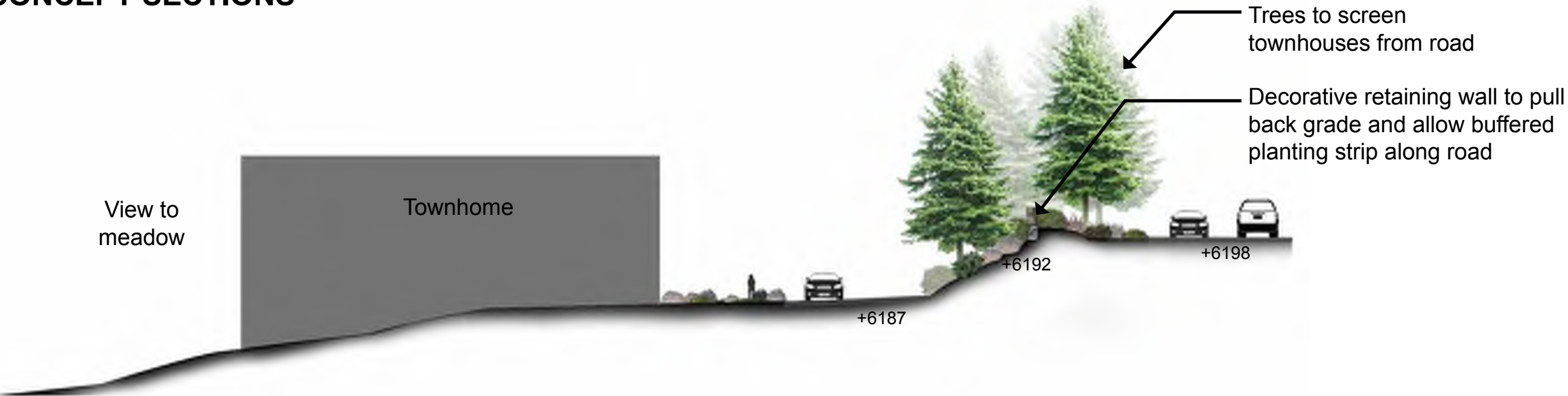
ROCK WALLS: Incorporate rock retaining walls to pull back grades in order to create more dynamic planting areas.



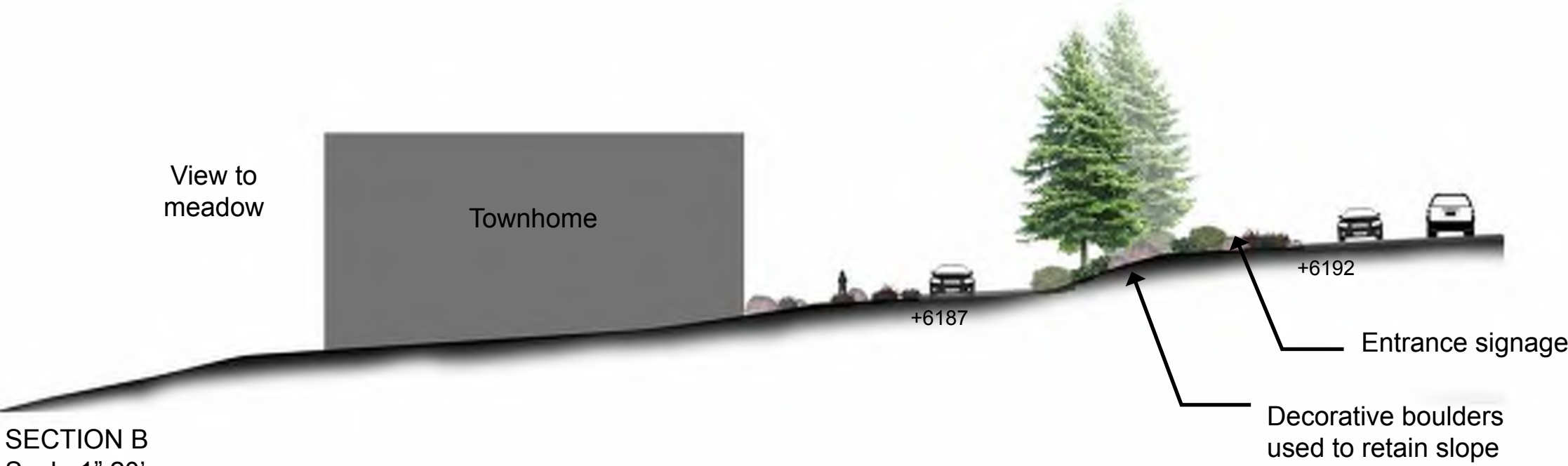
PLANTING CONCEPT - PLAN



PLANTING CONCEPT SECTIONS



SECTION A
Scale 1":20'

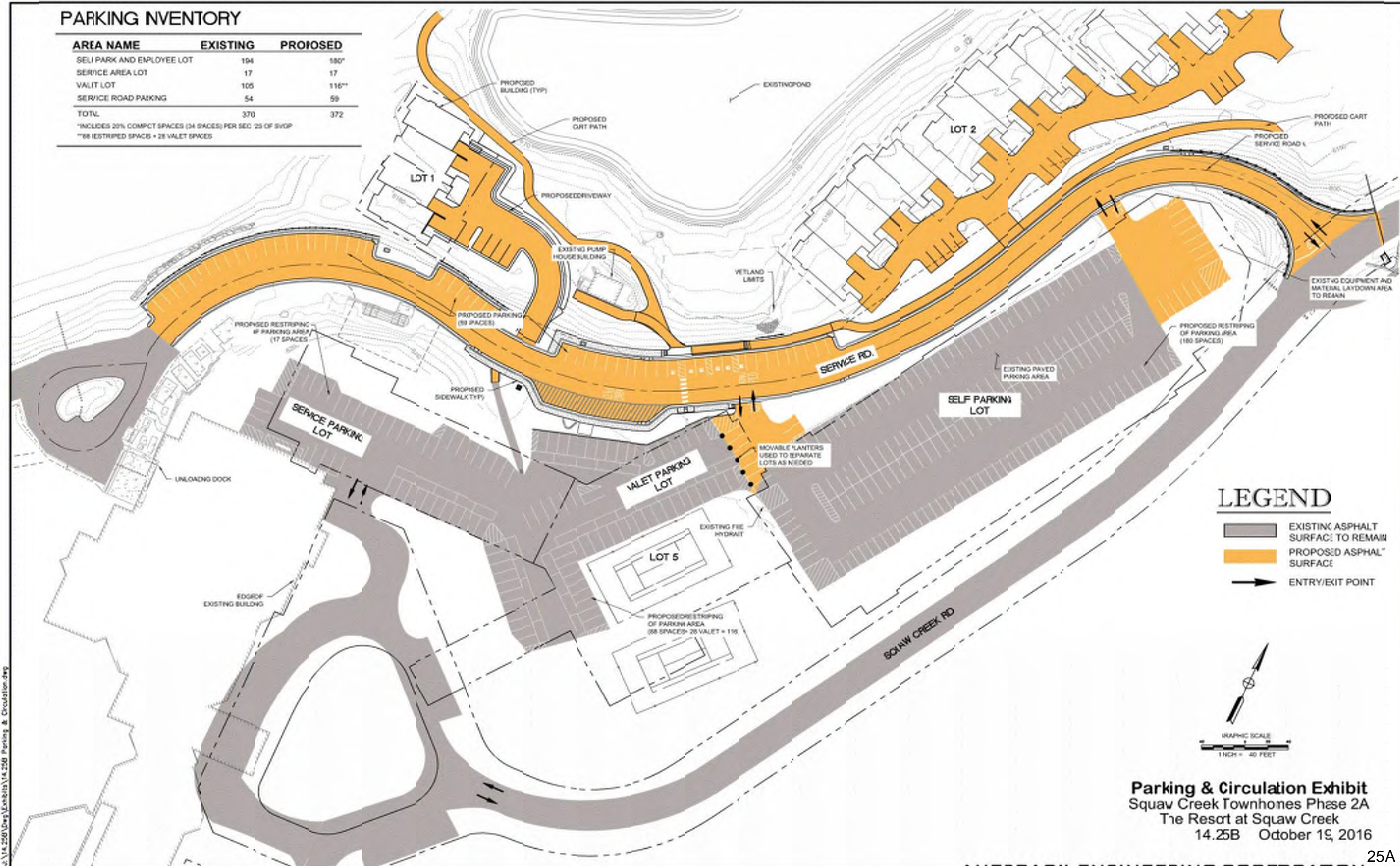


SECTION B
Scale 1":20'

PARKING INVENTORY

AREA NAME	EXISTING	PROPOSED
SELF PARK AND EMPLOYEE LOT	194	180*
SERVICE AREA LOT	17	17
VALET LOT	105	116**
SERVICE ROAD PARKING	54	59
TOTAL	370	372

*INCLUDES 20% COMPACT SPACES (34 SPACES) PER SEC. 25 OF SUDP
 **68 RESTRIPTED SPACES = 28 VALET SPACES



MEMORANDUM

DATE: 3 February 2017

SUBJECT: Resort at Squaw Creek Parking Phase 2A

Summary of Townhome Parking and Modifications to Existing Capacity

The new Phase 2A townhome development provides additional resort residential offerings and improvements to the existing Service Road infrastructure, which will affect the current on-grade parking facilities. To address this, in anticipation of the future Phase 2B & 2C development, the 2A development plan provides additional new parking dedicated to the townhomes and modifies the on-grade parking areas to preserve the existing capacity. Refer to "Parking & Circulation Exhibit".

Townhome Parking

The number of parking spaces required for the townhomes is determined by the Squaw Valley General Plan, and requires 3 spaces for each 4 bedroom townhome. These spaces are provided as covered and uncovered spaces within the new area to be developed of the townhomes and are in addition to the number of existing spaces at the resort. Refer to the Exhibit "Architectural Site Plan".

Required: 54 spaces (.75 spaces per bedroom)
Provided: 54 spaces (3 spaces per unit)

Service Road

The existing parking that is affected by the townhome development includes spaces currently located along the service drive and within the self-park and valet parking areas. As part of the resort's long term infrastructure improvements, the service drive is being reconfigured to conform to the county's development standards for roads and parking. The road will replace the current ill-defined and ad hoc conditions. This includes curbs, new head in parking spaces, accessible parking spaces, a pedestrian sidewalk and crossing, and a bus stop, while accommodating the vehicular entrances to the townhomes.

Existing: 54 spaces
Provided: 59 spaces

Self -Park Lot

The service road realignment reduces the area of the existing self-park lot. To mitigate the loss of available spaces, the remaining lot is re-striped to provide the most efficient layout for the available area and moderately expanded at the north end. This also allows for designated accessible parking where none currently exists and a new landscaped physical buffer where currently the road and parking lot are contiguous. This approach makes use of the allowance for 20% compact spaces in section 125.14, Squaw Valley General Plan.

Existing: 194 spaces
Provided: 180 spaces

MEMORANDUM

Valet Parking Lot

The area of the valet parking lot is moderately affected by the new bus stop on the service road. The new plan provides a more clear definition of the lot boundaries and increases the available parking by restriping the available area and by providing area allowances for additional valet parking by the resort staff. The parking lot access and the valet station are located on the arrival circle at the entrance to the resort.

The restriped spaces meet the county standards for public parking and can function for either self-park or valet service as required by the number of visitors and resort operations. The non-striped valet parking areas are facilitated by the irregular shape of the lot, which creates oversized aisles that would normally be wasted paved area. The draft EIR for the Resort at Squaw Creek, 10.4.84, provides the minimum dimensions for allowable valet parking. The proposed layout conservatively exceeds these dimensions for the valet parking spaces and the resultant clear travel lane widths. Refer to the Exhibit "Valet Parking Diagram".

Existing: 105 spaces
Provided: 88 self-park spaces
28 valet spaces

Service Lot

The parking areas designated Service Parking is contiguous with the Valet Parking and shares the access drive. Because it also functions for service deliveries, this area is excluded from valet parking. It is also not affected by the Service Road modifications.

Existing: 17 spaces
Provided: 17 spaces

Parking Summary
Townhomes
54 new spaces

Modified on grade parking

Service Road:	59 sp
Self-Park lot:	180 sp
Valet Lot:	116 sp
Service Lot:	17 sp
Modified total:	372 spaces
Existing on grade parking:	370 spaces

Referenced Exhibits:
Parking & Circulation
Architectural Site Plan
Valet Parking Diagram

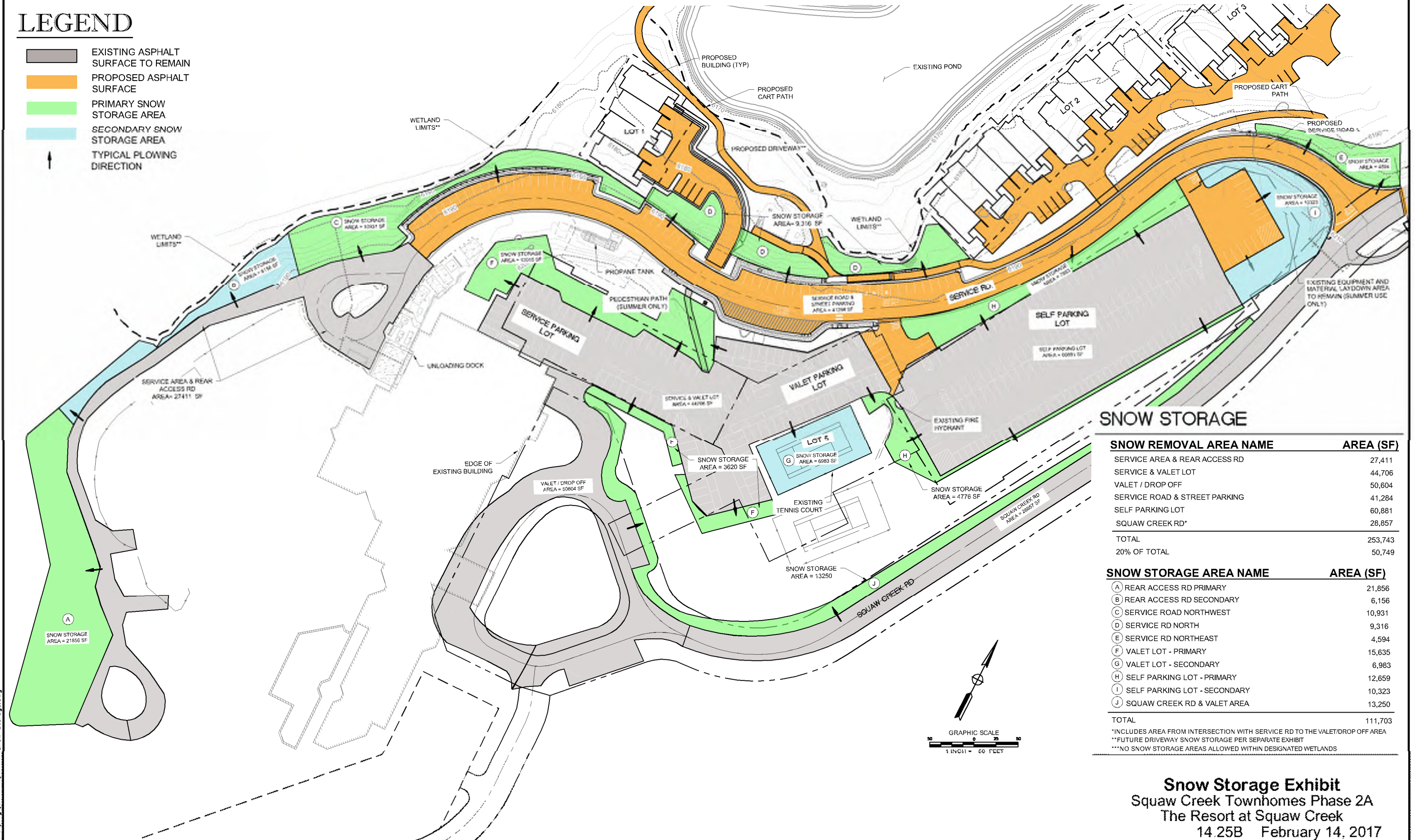
EXISTING ASPHALT SURFACE TO REMAIN

PROPOSED ASPHALT SURFACE

PRIMARY SNOW STORAGE AREA

SECONDARY SNOW STORAGE AREA

TYPICAL PLOWING DIRECTION



Snow Storage Exhibit
Squaw Creek Townhomes Phase 2A
The Resort at Squaw Creek
14.25B February 14, 2017

J:\14.25d\Drawg\Exhibits\14.25d Snow Storage.dwg

RESORT AT SQUAW CREEK**SNOW REMOVAL AND STORAGE OPERATIONS****February 2017**

This information was developed in conjunction with RSC management and maintenance personnel, and examined during a site walk with the RSC team on 10/8/16

Existing Snow Removal and Storage

1. The current snow removal strategy consists mainly of plowing and blowing snow to several key areas. The main parking lots utilize the majority of the snow storage space.
2. The far western reaches of the property consist mostly of the Service Road which accesses the "back of house" areas of the resort. The snow is removed primarily to the west onto the golf course, and a large amount is used to fill and create a sledding hill in this area. Snow is also moved to this area to accommodate the dog sledding experience for hotel guests. The resort owns two snow-cats used to move the snow in this area once pushed to the golf course. This is a very large snow storage area that can accommodate hauling from many other areas on the property in the event of extreme snow accumulation.
3. The majority of the pool area walkways are heated and do not produce snow for storage.
4. The snow from the areas adjacent to the service entrance and building chillers is deposited to the north and west side of the Service Road. This storage area drops fairly steeply from the edge of pavement to the wetlands below and provides a significant volume of available storage without impacting the wetlands beyond.
5. The upper service lot and valet parking lot has two main storage areas. First is to the west in the forested area above the chillers and the second is to the north in the area of the summer walkway. Both areas drop fairly steeply from the edge of pavement and allow for a significant volume of storage.
6. Snow from the middle portion of the service road is stored on the north side of the road in a similar manner to Item 4, above.
7. The large self-parking lot and eastern section of the service road are stored in three areas. The majority is stored to the north of the service road down the steeply sloping grade, additional smaller volume storage is used along the south side of the parking lot, and an even smaller portion along the eastern wall.
8. Snow from Squaw Creek Road is stored along each side of the road and especially on the north side where it can be plowed and then blown to allow for additional height of storage.

RSC Snow Storage

February 2017

Page 2 of 2

9. Three secondary/overflow storage areas were identified for larger than normal snow events or seasons. These consist of the north side of the service road along the backside of the building between the service entrance and where the road curves south, the lower tennis court, and an equipment storage area on the northeast side of the self-parking lot.

Proposed Snow Removal and Storage

1. The most significant impact of the Phase 2A plan is the loss of several storage areas on the north side of the service road due to the addition of the townhomes and driveways. This can be accommodated due to the decrease in roadway area in the self-parking lot along with the additional space being created between the self-parking lot and the service road.
2. Several snow storage areas have been identified along the new townhome driveways sufficient to allow for snow storage at the townhome level.
3. Expansion of several adjacent snow storage areas that are currently underutilized can also adequately make up for the losses proposed.
4. Buffers between snow storage areas and wetlands have been identified. While in practicality they are difficult to mark and maintain, in any event the snow storage calculations take into account the reduced areas.
5. The total area of surfaces which would be cleared of snow is approximately 253,000 SF (5.8 AC.). This includes all paved areas (for vehicular access) west of the intersection of Squaw Creek Road and the Service Road, with the exception of the Fire Road which is outside of this analysis. This also does not include the pedestrian areas within the plaza which are accommodated internally to those areas.
6. The Squaw Valley Land General Plan and Land Use Ordinance (Section 121) requires that the project set aside 20% of the total area from which snow is cleared as a snow storage area. Based on the above, 20% of the area to be cleared is about 50,000 SF (1.2 AC.).
7. The total area available for snow storage as depicted on the Snow Storage exhibit is about 112,000 SF (2.6 AC.), or over twice the area required per the ordinance. None of the proposed areas are within any 100-year floodplain or wetland. Note that there is still considerably more area available to the west and northwest (on the existing golf course) which can accommodate snow storage from other areas of the resort property that is not included in these calculations.

14.25B_RSC Snow Storage Narrative.docx

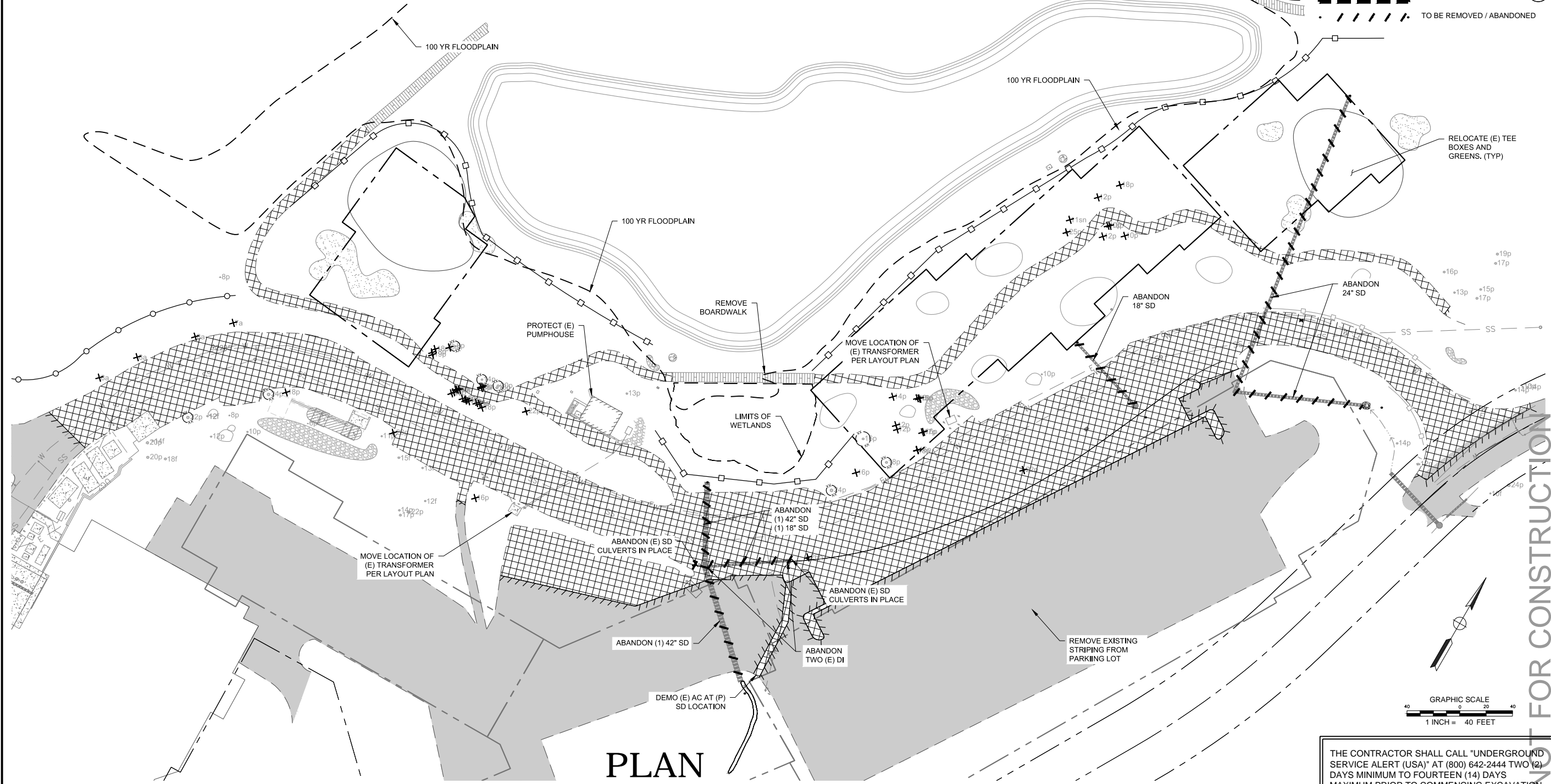
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**Snow Storage Narrative****Resort at Squaw Creek Townhomes**

February 15, 2017

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PLAN

TREE REMOVAL					
TREE No.	SIZE/TYPE	TREE No.	SIZE/TYPE	TREE No.	SIZE/TYPE
1	8A	17	14P	33	12P
2	8A	18	12P	34	14P
3	8A	19	12P	35	13P
4	7A	20	8F	36	16P
5	18P	21	10P	37	17P
6	28P	22	10P	38	16P
7	16P	23	10P	39	22P
8	18P	24	10P	40	25P
9	18P	25	9P	41	12P
10	18P	26	20P	42	12P
11	6P	27	22P	43	10P
12	9P	28	16P	44	18P
13	11P	29	18P	45	10P
14	8P	30	16P	46	18P
15	18P	31	15P	47	26P
16	8P	32	12P		

LEGEND

- REMOVE EXISTING PAVEMENT
- EXISTING PAVEMENT TO REMAIN
- REMOVE TREE
- SAWCUT A.C. PAVEMENT
- DRAIN INLET PROTECTION
- TREE PROTECTION
- FIBER ROLL
- CONSTRUCTION FENCE
- SILT FENCE
- CONSTRUCTION ENTRANCE
- TO BE REMOVED / ABANDONED

BY

REVISIONS

REV DATE

RECORD DRAWING

DATE

ENGINEER INITIAL

REGISTERED PROFESSIONAL ENGINEER
WALTER R. AUERBACH
No. C34303
Exp. 9/30/17
CIVIL
STATE OF CALIFORNIA

AUERBACH ENGINEERING CORP.

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THE RESORT AT SQUAW CREEK
SQUAW CREEK TOWNHOMES
PHASE 2A

DEMOLITION AND TEMPORARY
EROSION CONTROL PLAN

OLYMPIC VALLEY PLACER COUNTY CALIFORNIA

BAR IS ONE INCH ON ORIGINAL DRAWING

PROJECT NUMBER: 14.25B
SURVEY BY: AEC
SURVEY DATE: 8/10/2015
DESIGN BY: NC/RD
DRAFTING BY: PC/RD
CHECKED BY: NC

DATE: JANUARY 18, 2016

SCALES:

1" = 40'
HORIZONTAL
N/A
VERTICAL

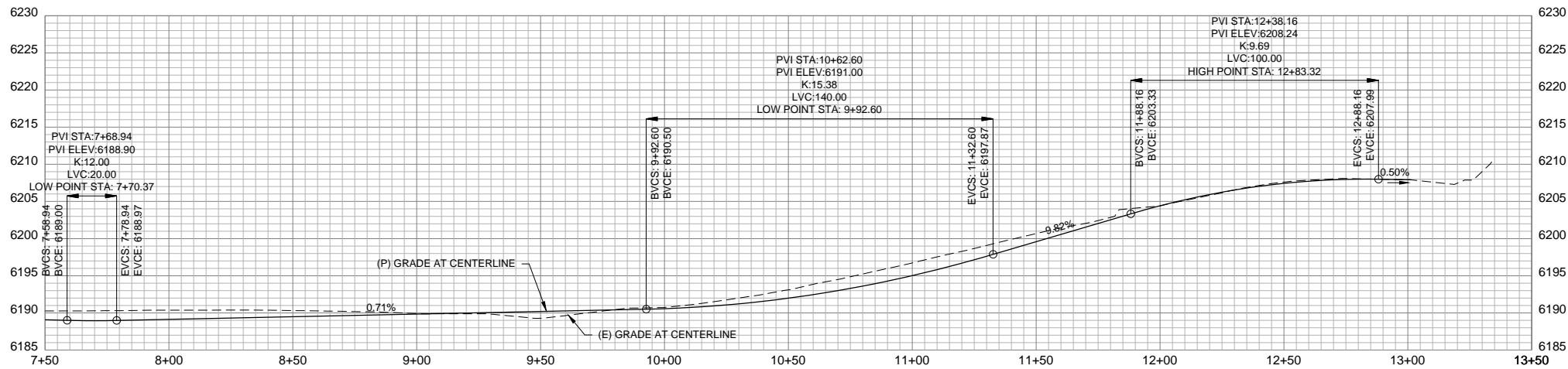
26
C1

SHEET: 4 of 20

THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.



PLAN



PROFILE

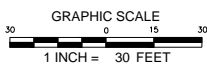
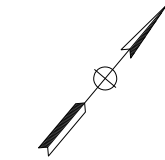
SCALE: 1" = 30' (H), 1" = 10' (V)

- # SITE PLAN KEYNOTES
1. PROVIDE P.C.C. SIDEWALK PER 7
CD6
 2. RESIDENTIAL DRIVEWAY ENTRANCE PER 6
CD6
 3. PROVIDE AC PAVEMENT PER 8
CD6
 4. PROVIDE CURB AND GUTTER PER 1
CD6
 5. PROVIDE PEDESTRIAN RAMP PER 1
CD5
 6. VALLEY GUTTER PER 4
CD6
 7. PROVIDE AGGREGATE BASE SHOULDER PER 9
CD6
 8. PROVIDE ROCK PROTECTION PER 2
CD3

- # SIGNAGE AND STRIPING KEYNOTES
1. PROVIDE 4-INCH SOLID WHITE PARKING STALL STRIPING. TYPICAL.
 2. PROVIDE ACCESSIBLE SIGNAGE AND STRIPING PER 3
CD5
 3. PROVIDE 12-INCH WIDE SOLID WHITE STOP BAR AND "STOP" R1-1 SIGN ON POST PER MUTCD.
 4. PROVIDE CROSSWALK STRIPING WITH 24-INCH WIDE, 8-FOOT LONG STRIPE, 4-FEET ON CENTER.
 5. PROVIDE REQUIRED POTENTIAL AVALANCHE HAZARD AREA SIGNS PER PLACER COUNTY CODE

ALL SIGNS SHALL BE INSTALLED ON NEW POST PER DETAIL 2 SHEET CD5, UNLESS OTHERWISE STATED.

NOTE:
CONTRACTOR SHALL PROVIDE ENGINEER WITH SHOP DRAWINGS OF ALL SIGNS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND A SHOP DRAWING OF PROPOSED STRIPING PRIOR TO PAINTING.



THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.

BY	
REVISIONS	
REV DATE	

RECORD DRAWING

DATE _____ ENGINEER INITIAL _____



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THE RESORT AT SQUAW CREEK
SQUAW CREEK TOWNHOMES
PHASE 2A

PLAN AND PROFILE
SERVICE ROAD (STA: 7+00 - 13+03)
OLYMPIC VALLEY PLACER COUNTY CALIFORNIA

PROJECT NUMBER:	14.25B
SURVEY BY:	AEC
SURVEY DATE:	8/10/2015
DESIGN BY:	NC/RD
DRAFTING BY:	NC
CHECKED BY:	
DATE:	JANUARY 18, 2016
SCALES:	
1" = 30'	
HORIZONTAL	
1" = 10'	
VERTICAL	

28
C4

SHEET: 7 of 20

The plan view shows a proposed service road and parking areas. Key features include:

- Service Road:** A central road labeled "SERVICE ROAD" with stationing from 0+75 to 7+00.
- Parking Areas:** Several parking lots are shown, including a large one on the left and smaller ones on the right.
- Buildings:** Two large building footprints are shown, one on the left and one on the right. The left building is labeled "FF GARAGE = 6184'".
- Topography:** Contour lines are shown, indicating elevations such as 6170, 6175, 6180, 6185, and 6190.
- Annotations:**
 - DI #1, DI #3, DI #4, DI #5, DI #6, DI #7:** Designation points along the service road.
 - SDMH #1, SDMH #3, SDMH #4:** Stormwater management features.
 - FES #1, FES #2:** Flood exclusion structures.
 - MATCH LINE:** Indicated on the right side of the plan.
 - SEE SHEET C6:** Indicated on the right side of the plan.

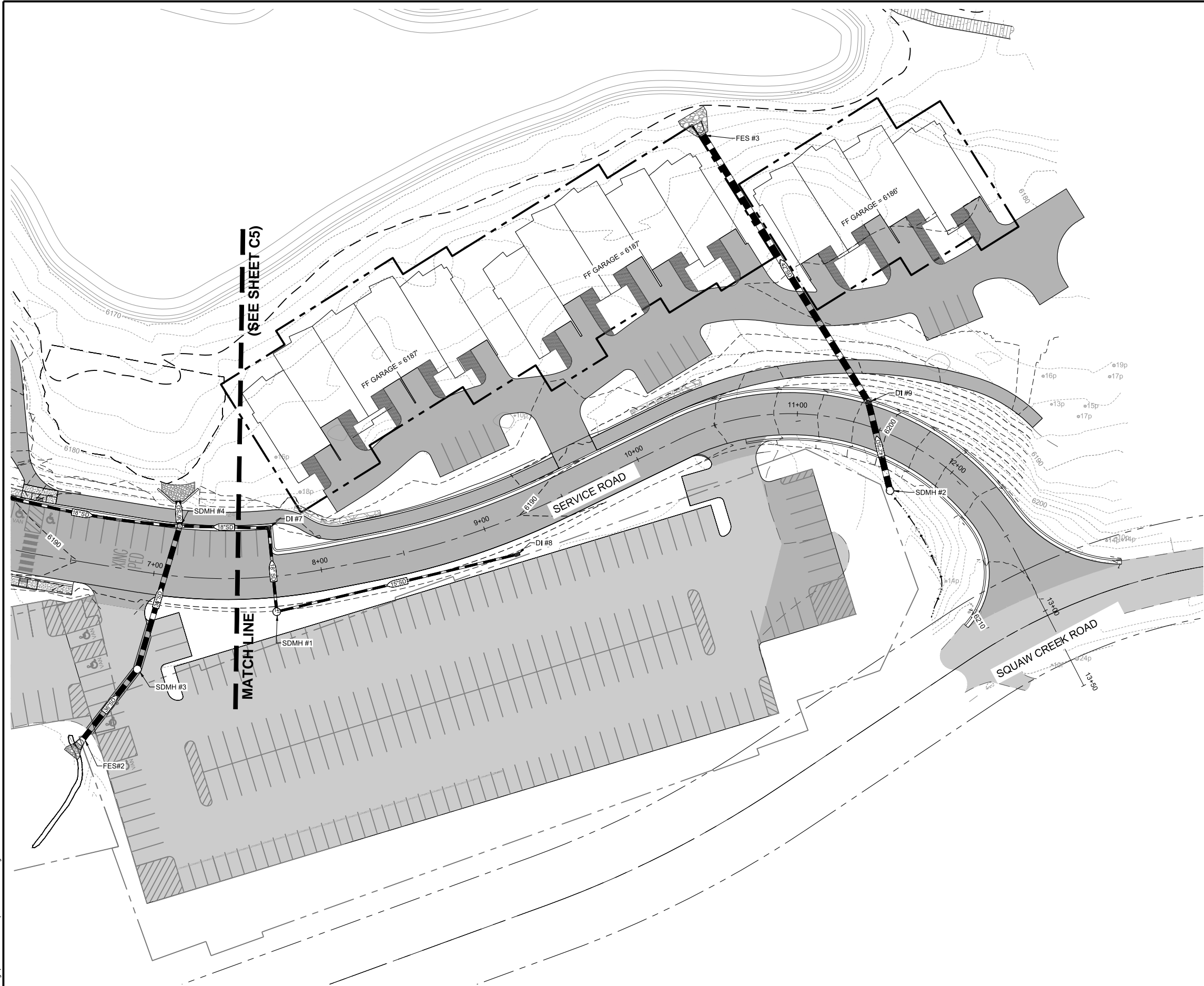
30 0 15 30

1 INCH = 30 FEET

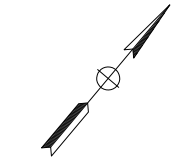
THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.

[illegible]

J:\14.25B\Drawg\Final Sheets\14.25B_C7.dwg



PLAN



GRAPHIC SCALE
1 INCH = 30 FEET

THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.

REV	DATE	REVISIONS	BY

RECORD DRAWING
DATE _____ ENGINEER INITIAL _____



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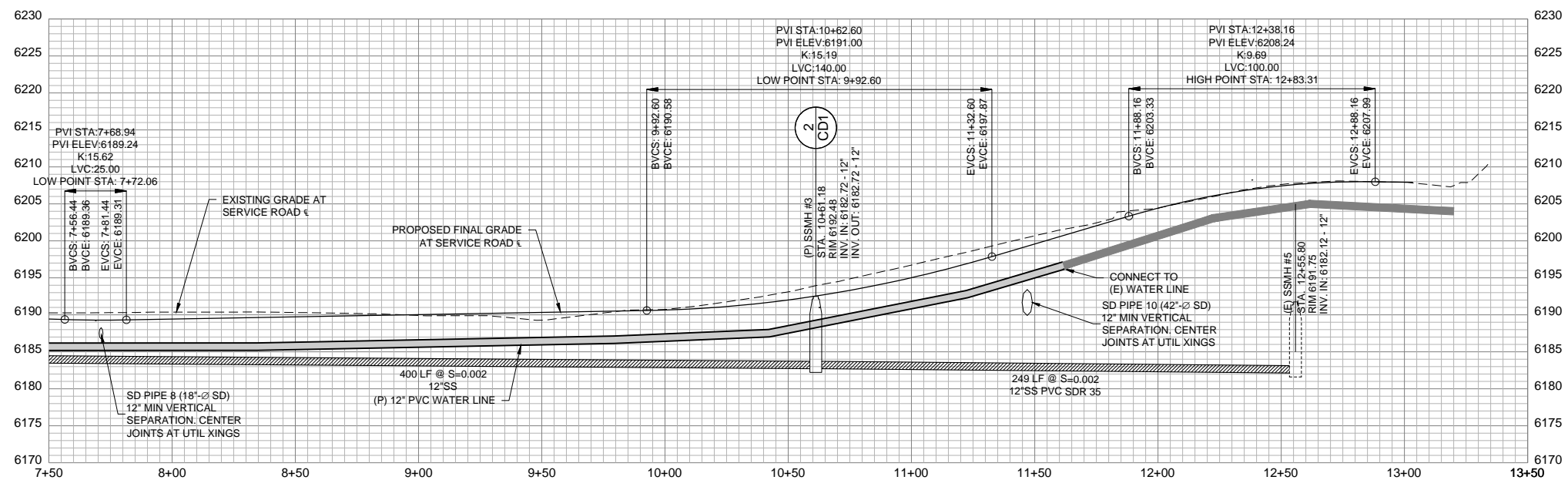
THE RESORT AT SQUAW CREEK
SQUAW CREEK TOWNHOMES
PHASE 2A
GRADING AND DRAINAGE
PLAN
OLYMPIC VALLEY PLACER COUNTY CALIFORNIA

BAR IS ONE INCH ON ORIGINAL DRAWING	
PROJECT NUMBER:	14.25B
SURVEY BY:	AEC
SURVEY DATE:	8/10/2015
DESIGN BY:	NC/RD
DRAFTING BY:	NC
CHECKED BY:	
DATE:	JANUARY 18, 2016
SCALES:	30
1" = 20'	C7
HORIZONTAL	
N/A	SHEET: 10 of 20
VERTICAL	

J:\14.25B\Final Sheets\14.25B_C9.dwg

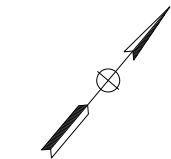


PLAN



PROFILE

SCALE: 1" = 30' (H), 1" = 10' (V)



GRAPHIC SCALE
1 INCH = 30 FEET

31

THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.

REV	DATE	REVISIONS	BY

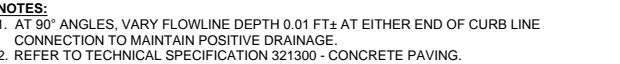
RECORD DRAWING
DATE _____ ENGINEER INITIAL _____



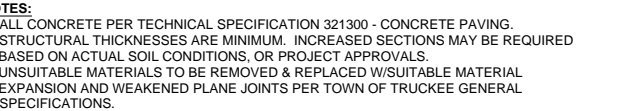
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THE RESORT AT SQUAW CREEK
SQUAW CREEK TOWNHOMES
PHASE 2A
UTILITY PLAN
OLYMPIC VALLEY PLACER COUNTY CALIFORNIA

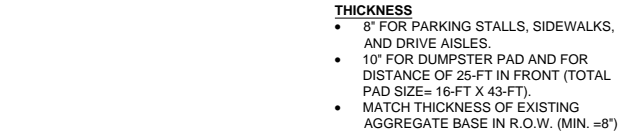
PROJECT NUMBER: 14.25B	DATE: JANUARY 18, 2016
SURVEY BY: AEC	SCALE: 1" = 30'
SURVEY DATE: 8/10/2015	HORIZONTAL
DESIGN BY: NCRD	VERTICAL
DRAFTING BY: PCRD	N/A
CHECKED BY: NC	32
	C9
	SHEET: 12 OF 20



N.T.S.



N.T.S.



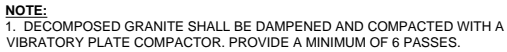
N.T.S.



N.T.S.



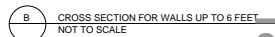
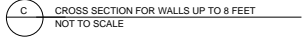
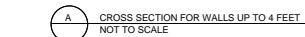
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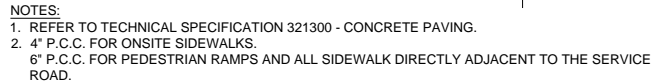
N.T.S.

ROCK WALL CONSTRUCTION NOTES:

1. ROCK WALL DIMENSIONS SHOWN IN THE TABLE ABOVE (AS MEASURED FROM WALL FACE TOWARD SLOPE) SHALL BE CONSIDERED MINIMUM. ROCK HEIGHT AND RESULTING NUMBER OF COURSES MAY VARY DEPENDING ON MATERIAL AVAILABILITY.
2. CONTRACTOR TO USE BOULDER FROM ON-SITE OR APPROVED ROCK SOURCE AND STAIN THE WALL TO MATCH THE EXISTING STONE IN THE ROCK OUTCROPPINGS. TO BE APPROVED BY OWNER'S REP.
3. ROCKS USED SHALL BE COMPETENT, DURABLE, UNFRACTURED ROCK AND ANGULAR TO SUB-ROUNDED IN SHAPE. ALL BOULDERS SHOULD HAVE A MINIMUM SPECIFIC GRAVITY OF 2.5.
4. PLACE LONG DIMENSION OF ROCK HORIZONTAL AND PERPENDICULAR TO FACE OF WALL TO PRIOR MAXIMUM STABILITY.
5. ROCKS SHALL BE PLACED SO AS TO AVOID CONTIGUOUS JOINT PLANES IN EITHER VERTICAL OR LATERAL DIRECTIONS.
6. ROCKS SHOULD DECREASE IN SIZE FROM THE BOTTOM TO THE TOP OF THE WALL.
7. DRAINAGE MATERIALS SHOULD CONSIST OF CLEAN, ANGULAR, WELL-GRADED SANDWASHED STONE OR CRUSHED ROCK (2 TO 4-INCH) OR OTHER MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER.
8. ROCKERY STONE SHALL BE PLACED AS TO:
 - A. TIP SLIGHTLY INTO THE RETAINED SLOPE.
 - B. HAVE LONGITUDINAL AXIS OF STONE PERPENDICULAR TO THE FACE OF WALL.
 - C. BE ARRANGED SO THAT EACH ROCK ABOVE THE FOUNDATION COURSE HAS A 3-POINT BEARING ON THE UNDERLYING ROCKS.
9. HAVE VOIDS BETWEEN ROCKERY STONE FILLED WITH DURABLE CRUSHED STONE 2-1/2" OR NOMINAL SIZE.
10. BEARING ON SMALLER STONES WHICH MAY BE USED FOR CHINKING VOIDS IS NOT CRITICAL.
11. ROCKERY WALL CONSTRUCTION SHALL BE OBSERVED AND APPROVED BY THE DESIGN ENGINEER.



N.T.S.



N.T.S.

THE RESORT AT SQUAW CREEK

SQUAW CREEK TOWNHOMES

PHASE 2A

CIVIL DETAILS

VALLEY

PLACER COUNTY

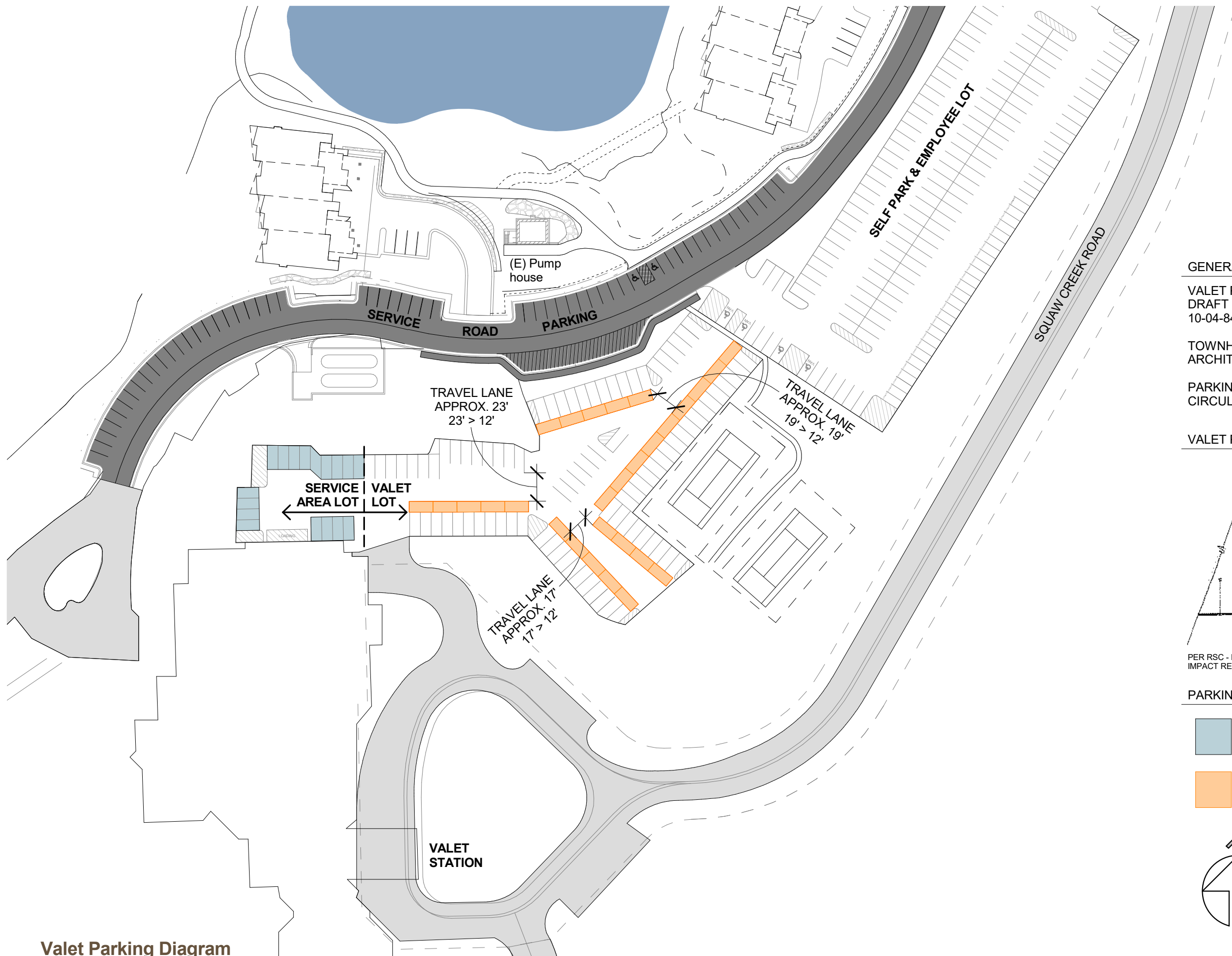
CALIFORNIA

PROJECT NUMBER:		14.25B
SURVEY BY:		AEC
SURVEY DATE:		8/10/2015
DESIGN BY:		NC/RD
DRAFTING BY:		PC/RD
CHECKED BY:		NC
DATE:		JANUARY 18, 2016
SCALES: AS SHOWN <hr/> HORIZONTAL <hr/> N/A <hr/> VERTICAL	<div style="font-size: 2em; font-weight: bold;">33</div> <div style="font-size: 3em; font-weight: bold;">CD7</div>	
SHEET:		19 of 20



BOUNDARY LINE LEGEND

-  New Lot Line
-  Original Lot Line



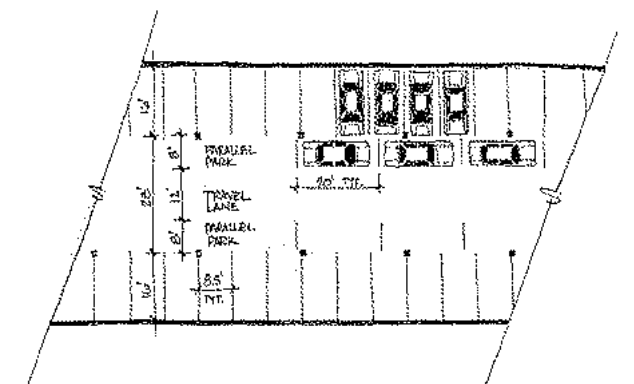
GENERAL NOTES

VALET PARKING SPACES: COMPLY PER RSC - DRAFT ENVIRONMENTAL IMPACT REPORT 10-04-84 (SEE DIAGRAM BELOW)

TOWNHOME PARKING: REFER TO ARCHITECTURAL SITE PLAN EXHIBIT

PARKING INVENTORY: REFER TO PARKING & CIRCULATION EXHIBIT

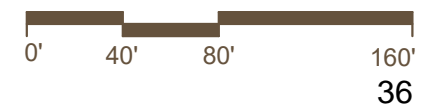
VALET PARKING PLAN DIAGRAM



PER RSC - DRAFT ENVIRONMENTAL IMPACT REPORT 10-04-84

PARKING DIAGRAM LEGEND

- SERVICE AREA PARKING SPOTS
- VALLET SPACES





L1 - EXISTING PARKING LIGHT POLES

Existing parking light poles are to be relocated within new parking layout & new bus stop or to replaced in kind.

Type: Pole mounted down light with full cutoff

Manufacturer:Eaton

Product: Streetworks Tru Tribute

Post Material: One piece extruded aluminum

Hood Enclosure: One piece die-cast aluminum housing

Electrical: match existing

Finish:Polyester powder coat. Color: Bronze to match existing.

Height: Match existing

Location: Refer to Site Plan Exhibit - Sheet 5



L3 - EXTERIOR SIGN LIGHT

Type: Sign Light

Manufacturer: EATON

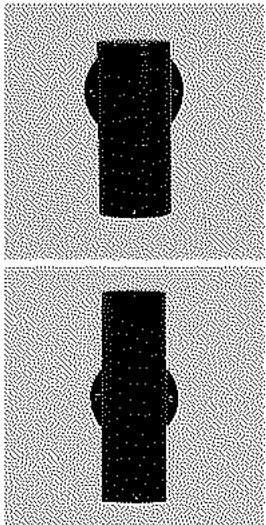
Product: Cambria 920

Material: Housing, hood, hook arm and wall mounting plate are precision-machined from corrosion-resistant 6061-T6 aluminum

Electrical: dimmable LED (50W Max) or MR16 low voltage sign lighting luminaire

Finish: Fixtures are double protected by a chromate conversion undercoating and polyester powdercoat paint finish. Color: Bronze

Location: Refer to Signage Types Exhibit - Sheet 5



L4 - EXTERIOR WALL SCONCE

Type: Up/Down Wall Fixture

Manufacturer: COOPER Lighting

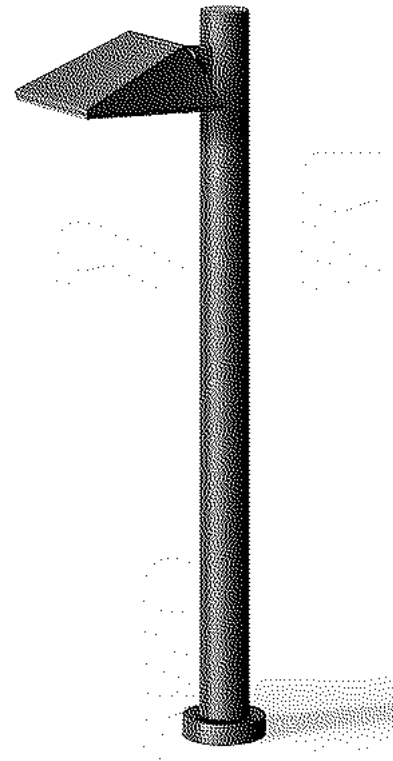
Product: Westwood 714 & 714-2

Material: Housing and hood are precision-machined from corrosion-resistant 6061-T6 aluminum billet

Electrical: 39W PAR20 Metal Halide

Finish: Fixtures are double protected by a chromate conversion undercoating and polyester powdercoat paint finish. Color: Bronze

Location: Refer to Unit Plan Exhibit - Sheet 6-7



L2 - LOW LIGHT BOLLARD

Type: Bollard Surface Washer

Manufacturer: BEGA

Product: 88 556

Post Material: One piece extruded aluminum

Hood Enclosure: One piece die-cast aluminum housing

Electrical: 26W LED luminaire, 31 total system watts

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Color: Bronze

Height: 47 1/2"

Location: Refer to Site Plan Exhibit - Sheet 5



L5 - EXTERIOR DOWNLIGHT

Type: Exterior Downlight Fixture

Manufacturer: EATON

Product: Halo - SLD 4" Surface LED Downlight

Material: Die cast aluminum trim ring and die formed aluminum frame

Electrical: 12.2W LED Luminaire

Finish: SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Color: Tuscan Bronze

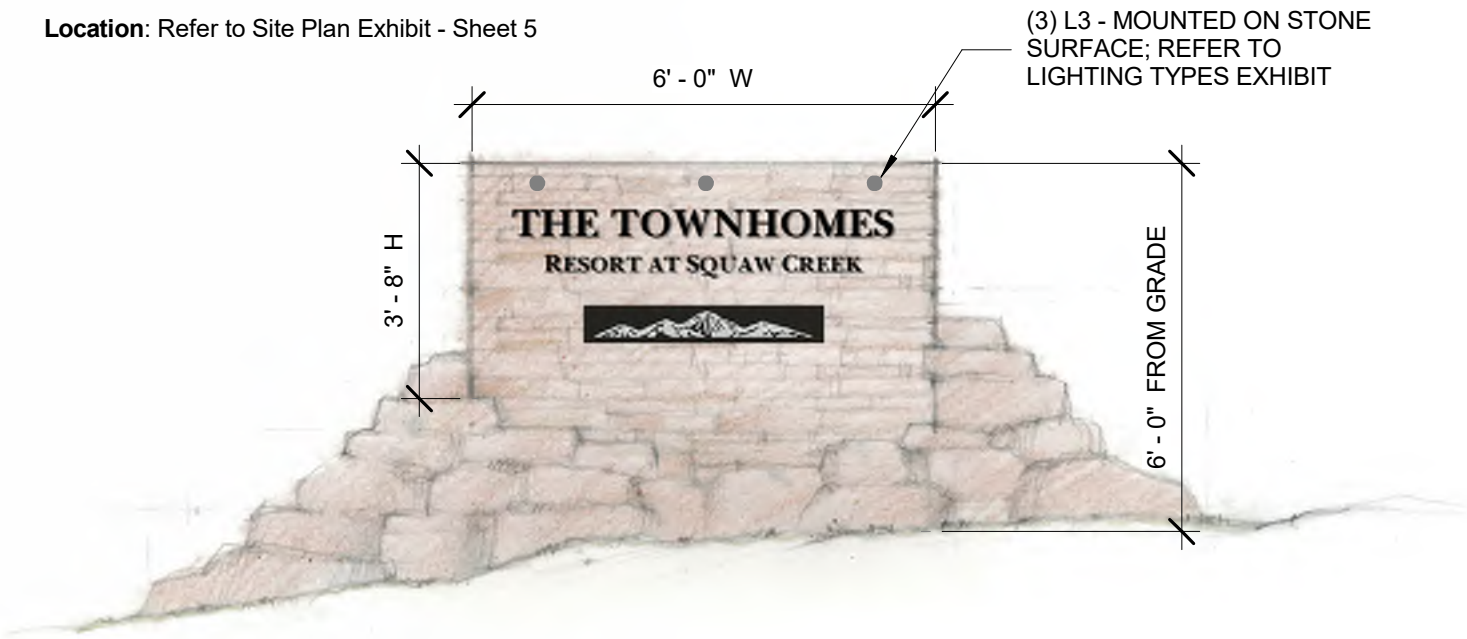
Location: Refer to Unit Plan Exhibit - Sheet 6-7



S1 - MONUMENT SIGN

Type: Stone Monument Sign

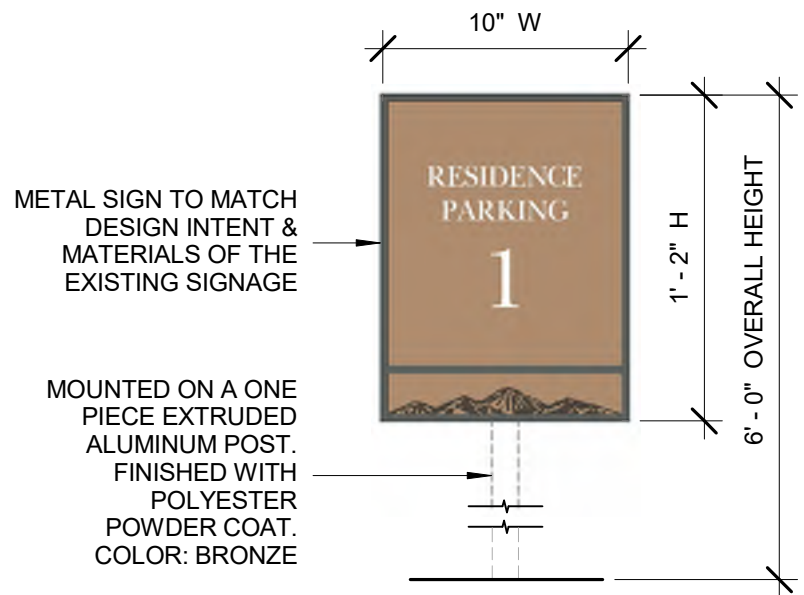
Location: Refer to Site Plan Exhibit - Sheet 5



S3 - VISITOR PARKING SIGNAGE

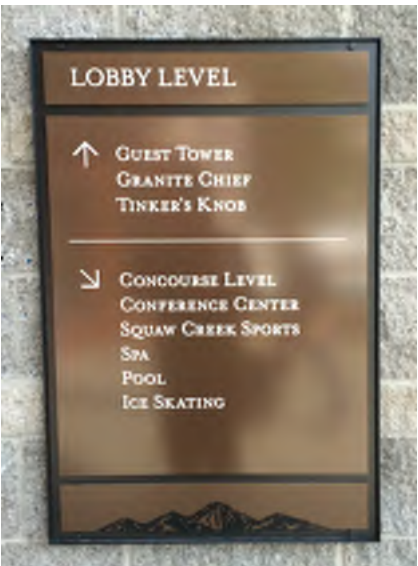
Type: Townhomes visitor parking signage

Location: Refer to Site Plan Exhibit - Sheet 5



EXISTING SIGNAGE

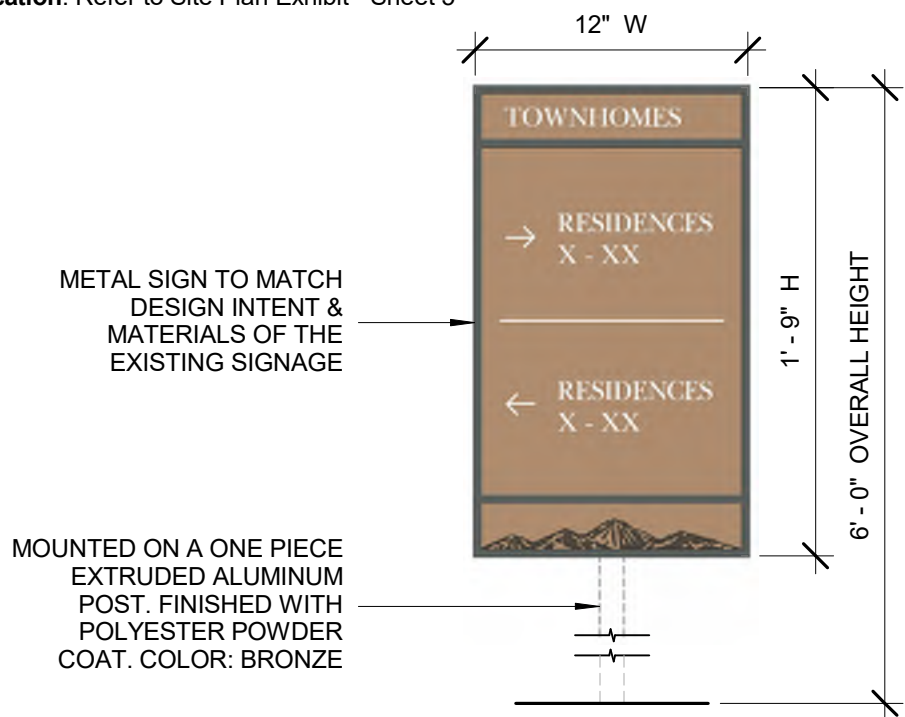
Type: Existing signage for reference



S2 - WAYFINDING SIGNAGE

Type: Townhome wayfinding signage

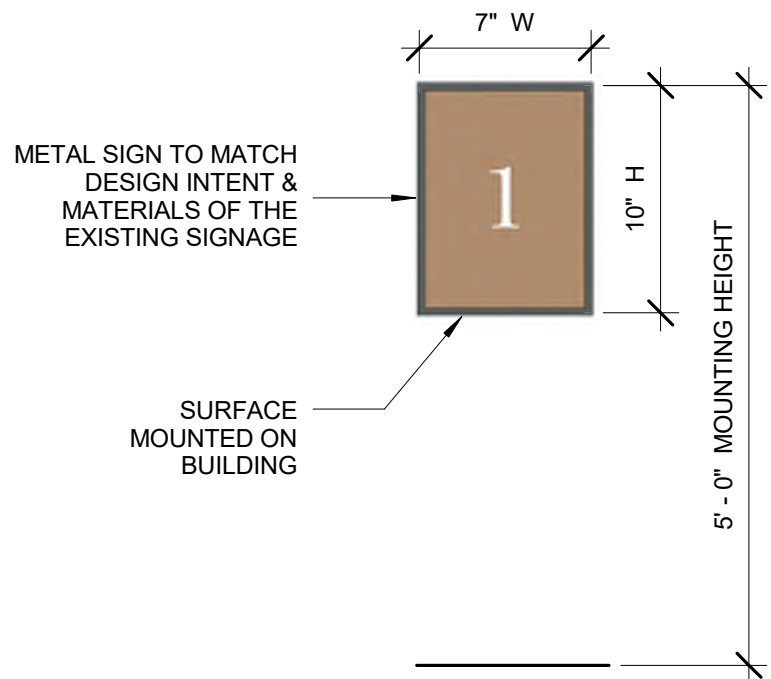
Location: Refer to Site Plan Exhibit - Sheet 5



S4 - UNIT SIGNAGE

Type: Unit Identification Signage

Location: Refer to Unit Plan Exhibit - Sheet 6-7



SIGNAGE SIZE CALCULATIONS

Allowed 1 square foot of sign for every 5 feet of frontage. Maximum of 36 square feet for a sign.

Frontage of Townhomes:

Lot 1: 93'
Lot 2 & 3: 319'

Total: 412'

Signage Size:

$412' / 5' = 82.4 > 36$

Thus, signs for the Squaw Creek Townhomes are allowed to be as large as 36 sq. ft.

S1 = 36 sq. ft.
S2 = 1.75 sq. ft.
S3 = 0.97 sq. ft.
S4 = 0.49 sq. ft.